

CITY COUNCIL REPORT



MEETING DATE: October 18, 2005

ITEM NO. 6 GOAL: Coordinate Planning to Balance Infrastructure

SUBJECT

The Estates At Miramonte - 14-AB-2005

REQUEST

Request to consider the following:

1. Abandonment of 20-foot portions of the 40 foot wide roadways along N. 124th Street and East Williams Drive that abut the Miramonte Plat.
2. Abandonment of 15-foot portions of the 30-foot wide roadway along N. 122nd Street that abuts the Miramonte Plat.
3. To adopt Resolution No. 6747 vacating and abandoning a public right-of-way.

Related Policies, References:

Cases 33-PP-1998 and 157-DR-1998 approved the Miramonte Plat and related entry feature in 1998.

OWNER

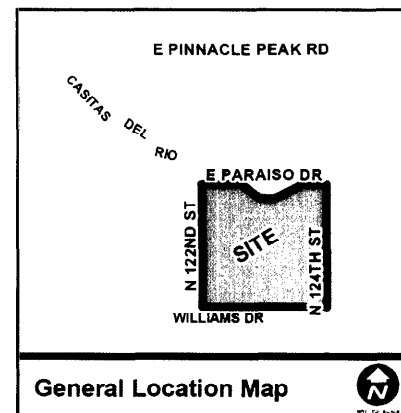
Luxor Homes Construction LLC
480-330-6132

APPLICANT CONTACT

Gary Haarer
Luxor Homes Construction LLC
480-361-7700

LOCATION

N. 122nd Street, Williams Drive and N. 124th Street



BACKGROUND

Background.

The 40-foot wide roadway dedication along the east (N. 124th Street-a local residential street) and south (Williams Drive- a local residential street), and the 30-foot wide roadway dedication along the west (N. 122nd Street- a local residential street) sides were dedicated as part of the 12 lot, Miramonte plat which was recorded in 1998. The request is to abandon the inside 20 feet of N. 124th Street and Williams Drive, and the inside 15 feet of N. 122nd Street that abut the plat, at this time. Subsequently, when condemnation and acquisition of area McDowell Sonoran Preserve properties are finalized, the applicant will apply to abandon the remaining 20-foot sections of the roadways (15-foot along N. 122nd Street) and incorporate the abandoned areas into the abutting lots within Miramonte as the abandonments occur.

Zoning.

The site is zoned R1-130 ESL (Single Family Residential with an Environmentally Sensitive Lands Overlay) District. The R1-130 zoning district allows for single-family residential lots. The ESL overlay requires that environmentally sensitive areas such as large boulders, washes and steep slopes be preserved, when platted or developed, and dedicated as Natural

Area Open Space (NAOS).

Context.

Properties to the east, west and south are either currently owned or are being acquired through the condemnation process for inclusion into the McDowell Sonoran Preserve. Portions of these properties have been acquired and other lands are in the process of condemnation. All of the surrounding lands are zoned Single-Family Residential R1-130 ESL District except for portions of Troon Highland Estates located to the southwest and northwest that are zoned Single-Family Residential (R1-43 ESL) and Single-Family Residential (R1-18 ESL). Until condemnation is complete, access to area properties is required and that is why only half of the 40 and 30-foot wide roadways are requested to be abandonment at this time. Properties to the north are currently held as large lot residential areas, are un-subdivided and are not affected by this abandonment.

**APPLICANT'S
PROPOSAL****Goal/Purpose of Request.**

- Abandon a 20-foot wide portion of the 40-foot wide roadway along the eastern (N. 124th Street) and southern (E. Williams Drive) property lines of the Miramonte Plat.
- Abandon a 15-foot portion of the 30-foot wide roadway along the western (N. 122nd Street) property line of the Miramonte Plat.
- Dedicate a one (1) foot Non-vehicular Access Easements (NVE) will be dedicated adjacent to each of the abandonment areas.
- Provide a Public Utility Easements (PUE) along the northerly portions of N. 122nd and N. 124th Streets as part of the abandonment.

In 1998 as part of the Miramonte plat, the developer was required to dedicate 40-foot wide road rights-of-way along eastern and southern boundaries of the site and a 30-foot road right-of-way dedication was required on the west boundary of the site. With the acquisition of surrounding lands for the McDowell Sonoran Preserve along the east, west and south sides of the site, dedication and utilization of these streets is no longer required for access to the Preserve. With the current abandonment application, only one half of the dedicated rights-of-way are being considered for abandonment. The remaining portions of right-of-way will provide access to adjoining properties where condemnation for the McDowell Sonoran Preserve is pending. Upon completion of condemnation, the remaining rights-of-way for the streets will be the subject of a request for abandonment. The abandoned rights-of-way will be incorporated into the adjoining lots within Miramonte. No public trails are proposed within the abandonment area and following condemnation, no additional need for vehicular access will be required on the subject roadways.

All appropriate public utility companies and City Departments have been contacted and expressed no objection. The abandoned areas will be added to adjoining lots and may be dedicated as NAOS area as each lot develops. These additional areas of potential open space are not required to meet Ordinance standards but will result in extra open space for the benefit of the community.

Key Issues.

CITY IMPACT:

The streets are currently not developed with the completion of acquisition or condemnation of adjoining properties for the McDowell Sonoran Preserve; these roadways will not be required in the future. The McDowell Sonoran Preserve will provide 9 trailheads for overall future public access areas and none of the subject streets are required for future trailhead access to the Preserve. Related Public Utility Easements (PUE), Non-vehicular Access Easements (NVE) and NAOS easements will be dedicated in accordance with City and public utility requirements. The Transportation Department, Water Resources Department and Preservation and Historic Resources Department have no objections to the abandonment. No GLO (Government Land Office Patent) easements are involved. No utilities, drainage structures or easements other than those being modified accordingly by the abandonment are affected by this case.

NEIGHBORHOOD IMPACT:

No adverse impact is foreseen on the neighborhood as a result of the abandonment. Roadway access will continue to be provided to area properties until acquisition or condemnation is completed. No future McDowell Sonoran Preserve access is provided at this location. One neighbor involved with the condemnation process toward the southwest of the site has objected to the proposal indicating the partial abandonment may limit opportunities during the pending proceedings. No other neighborhood comment has been received regarding this case.

PROPERTY OWNER IMPACT:

The property was dedicated as part of the Miramonte plat recorded in 1998. The abandoned areas will be incorporated into adjoining lots and may be dedicated as natural area open space as each lot develops. The additional lot areas and potential open space benefits the future homeowners.

Community Impact.

The community impact of the abandonment is minimal since the roads will not be developed in the future due to alternate locations provided for trailheads and public access to McDowell Sonoran Preserve areas.

IMPACT ANALYSIS

Departmental Responses.

City Department/Division participants concur with this abandonment request. See Department Issues Checklist (Attachment #1).

Open space, scenic corridors and public trails.

No public access will be provided through the abandonment area to the future McDowell Sonoran Preserve area. Future trailheads accessing the McDowell Sonoran Preserve do not include the subject roadways in this area. The applicant has agreed to provide a 15-foot wide public trail easement along the north side of the site in accordance with the Trails Master Plan and subject to the requirements of the Trails Planner. The trail is not affected by this abandonment. Abandonment areas may be dedicated as NAOS upon incorporation with the adjoining Miramonte lots.

Policy Implications.

The area is adjacent to the McDowell Sonoran Preserve and is designated as ESL. The abandonment is the first part of a 2-phase abandonment of

unnecessary streets abutting Miramonte and the McDowell Sonoran Preserve. No properties will be denied or lose access as a result of these abandonments, pending finalization of condemnation of planned McDowell Sonoran Preserve properties in this area

Community Involvement.

The applicant sent letters of notification for the proposed abandonment to all landowners within 750 feet of the site on May 10, 2005. The applicant has received one call and a follow-up letter-expressing objection from a neighboring property owner within the McDowell Sonoran Preserve condemnation area indicating he prefers to maintain full road access as the condemnation proceedings progress. In addition, Staff has sent postcards of notice and posted the site. Staff has received no other comment or objections.

Staff Recommendation:

Staff recommends approval.

OTHER BOARDS AND COMMISSIONS

Planning Commission.

The case was heard at the Planning Commission Meeting on September 14, 2005. No citizen comment cards were received and no questions or discussion occurred on this case. Planning Commission recommended approval on the consent agenda, 7-0.

RECOMMENDATION RESPONSIBLE DEPT(S) STAFF CONTACT(S)

Approval


Planning and Development Services Department

Al Ward, AICP
Senior Planner
480-312-7067
E-mail: award@ScottsdaleAZ.gov

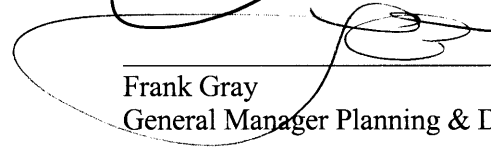
Randy Grant
Chief Planning Officer
480-312-7995
E-mail: rgrant@ScottsdaleAZ.gov

Peter Deeley
Planning Coordination Manager
480-312-2554
E-mail: pdeeley@ScottsdaleAZ.gov

APPROVED BY


Randy Grant
Chief Planning Officer

1/21/05
Date


Frank Gray
General Manager Planning & Development Services

10.4.05
Date


Ed Gawf
Deputy City Manager

10/5/05
Date

ATTACHMENTS

1. Departmental Checklist
2. Context Aerial
3. Detail Aerial
4. Easements and Right-of-Ways
5. Area Trails Plan
6. Letter of Agreement
7. City Notification Map
8. September 14, 2005 Planning Commission Minutes
9. Resolution No. 6747

CASE 14-AB-2005

Department Issues Checklist

Transportation

☒ **Support**

As the subject roads are adjacent to the Preserve and are not required to provide access to the Preserve or the subject Miramonte plat and not necessary for the overall circulation plan for this area.

Trails

☒ **Support**

No trails are directly affected by the abandonment. The Trails Master Plan shows a trail easement along Paraiso Drive to the north of the Miramonte plat. The applicant has agreed to dedicate a 15-foot wide Public Trail easement along the north side of the site subject to the requirements of the Trails Planner. No public access is proposed to the Preserve in this area.

Adjacent Property Owner Notification

☒ **Support**

One neighbor objects to the abandonment stating that he is currently in the condemnation process with the City for his property for McDowell Sonoran Preserve and indicates he wishes to maintain access to his property. The City has agreed to maintain half of the right-of-way to provide access to adjoining properties until condemnation is finalized. No other objection has been received.

Public Utilities

☒ **Support**

APS, Qwest, Southwest Gas and Cox have all expressed no objection to the abandonment.

Emergency/Municipal Services

☒ **Support**

The City Fire Department has expressed no objection to the partial abandonment of the subject streets.

Water/Sewer Services

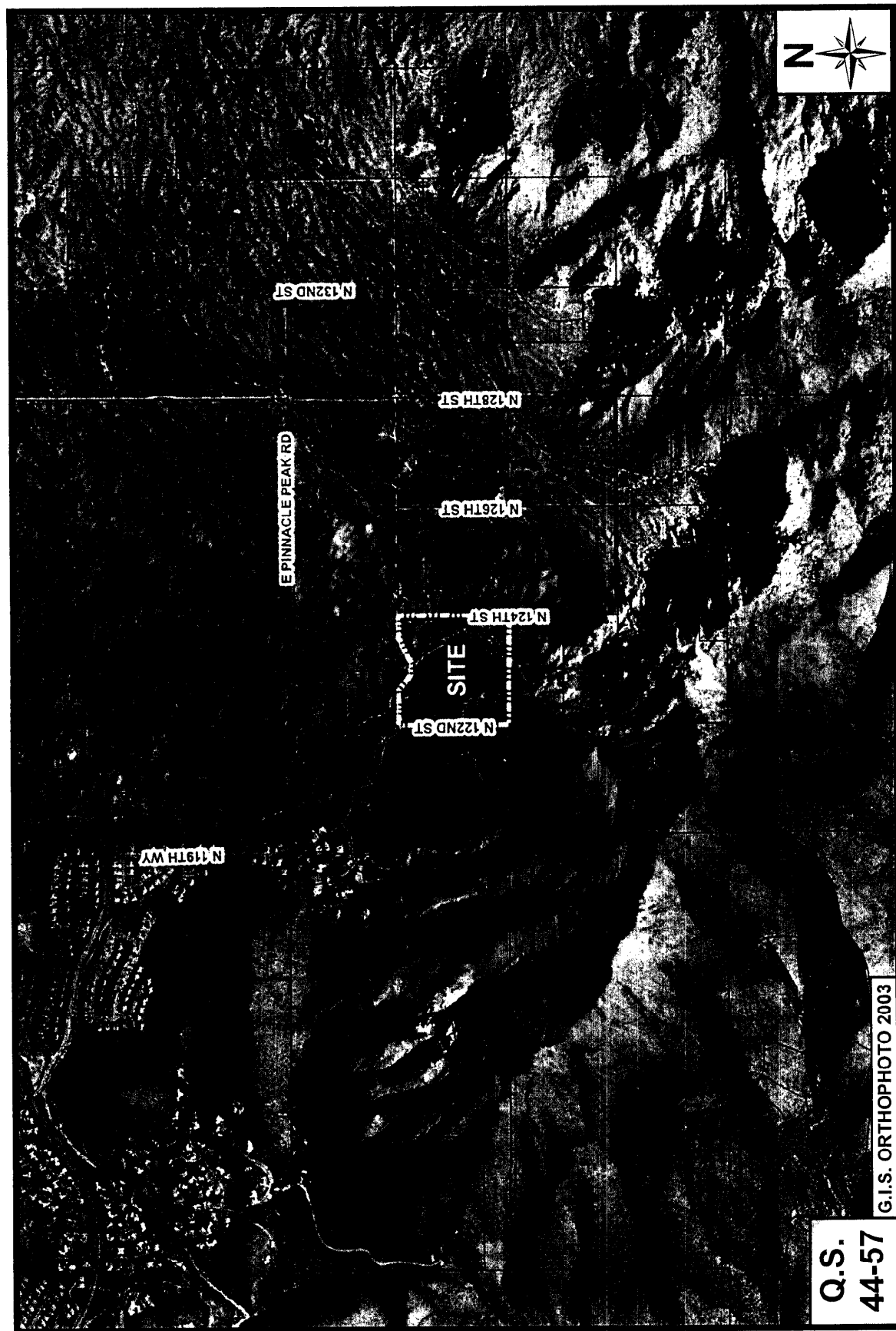
☒ **Support**

Water Resources Department supports the abandonment and has no requirements for water or sewer easements in this area based on the acquisition adjoining lands for the McDowell Sonoran Preserve.

Drainage

☒ **Support**

There are no drainage issues or existing or planned drainage facilities associated with the abandonment.



Q.S.
44-57

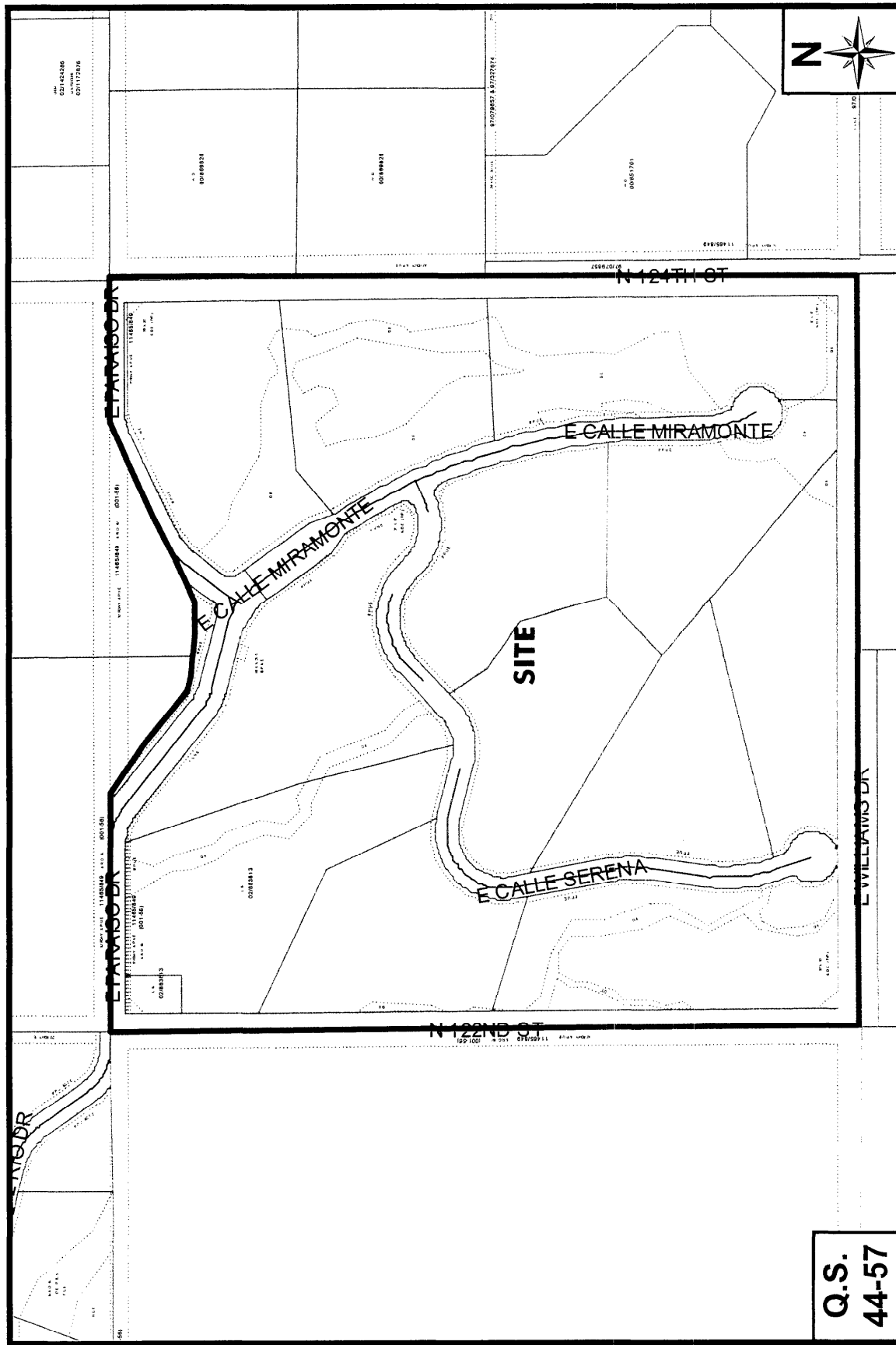
G.I.S. ORTHOPHOTO 2003



14-AB-2005

The Estates At Miramonte

ATTACHMENT #2



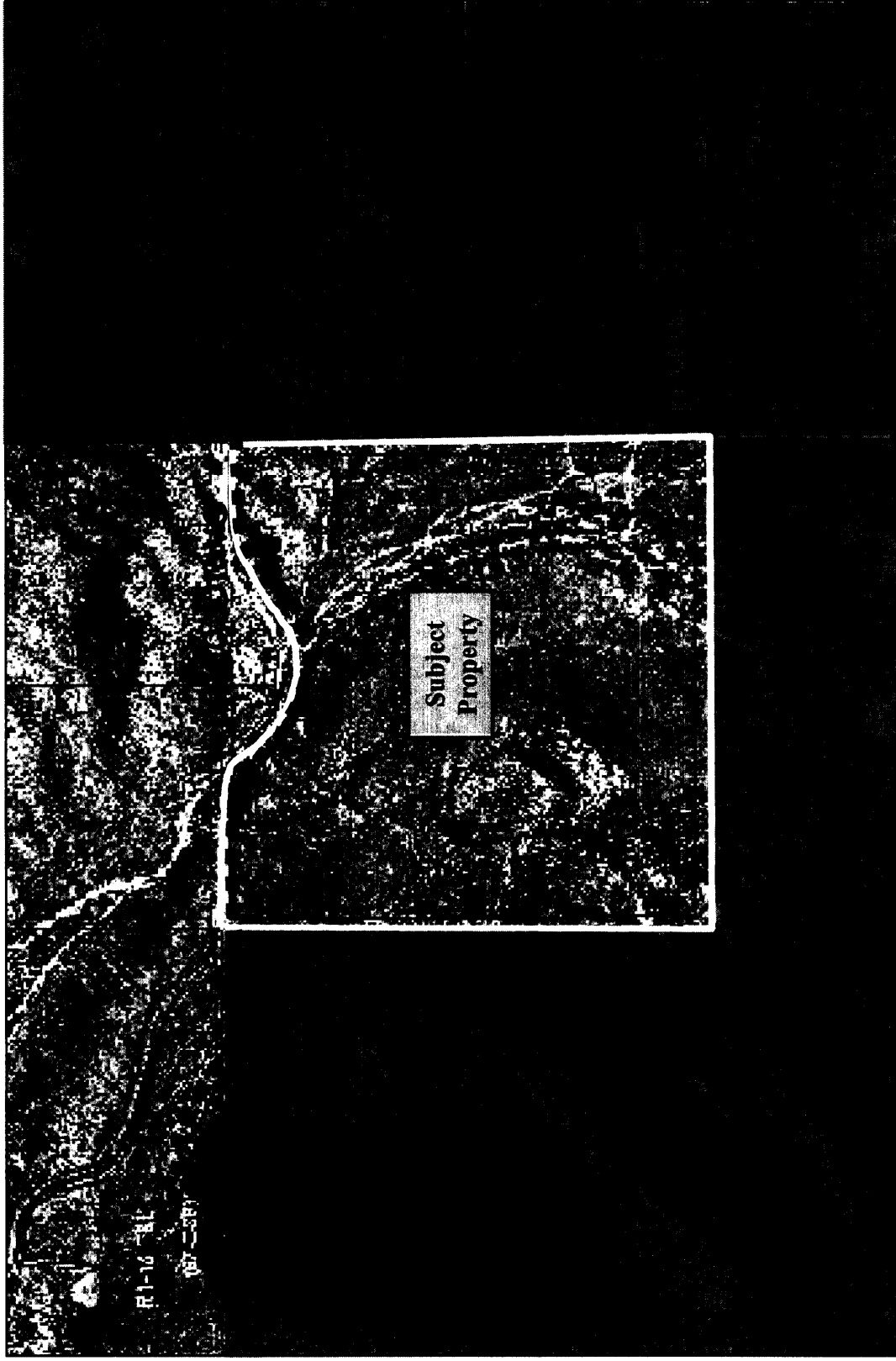
14-AB-2005

The Estates At Miramonte

Easements & Right-of-Way

ATTACHMENT #4

Trails in the Area of 14-AB-2005



■ ■ ■ ■ Master Planned Trails	Not to Scale N ↑
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12183 E. Sand Hills Road
Scottsdale, Arizona 85255

August 30, 2005

Al Ward
City of Scottsdale
7447 E. Indian School Road
Phoenix, Arizona 85251

Re. The Estates at Miramonte

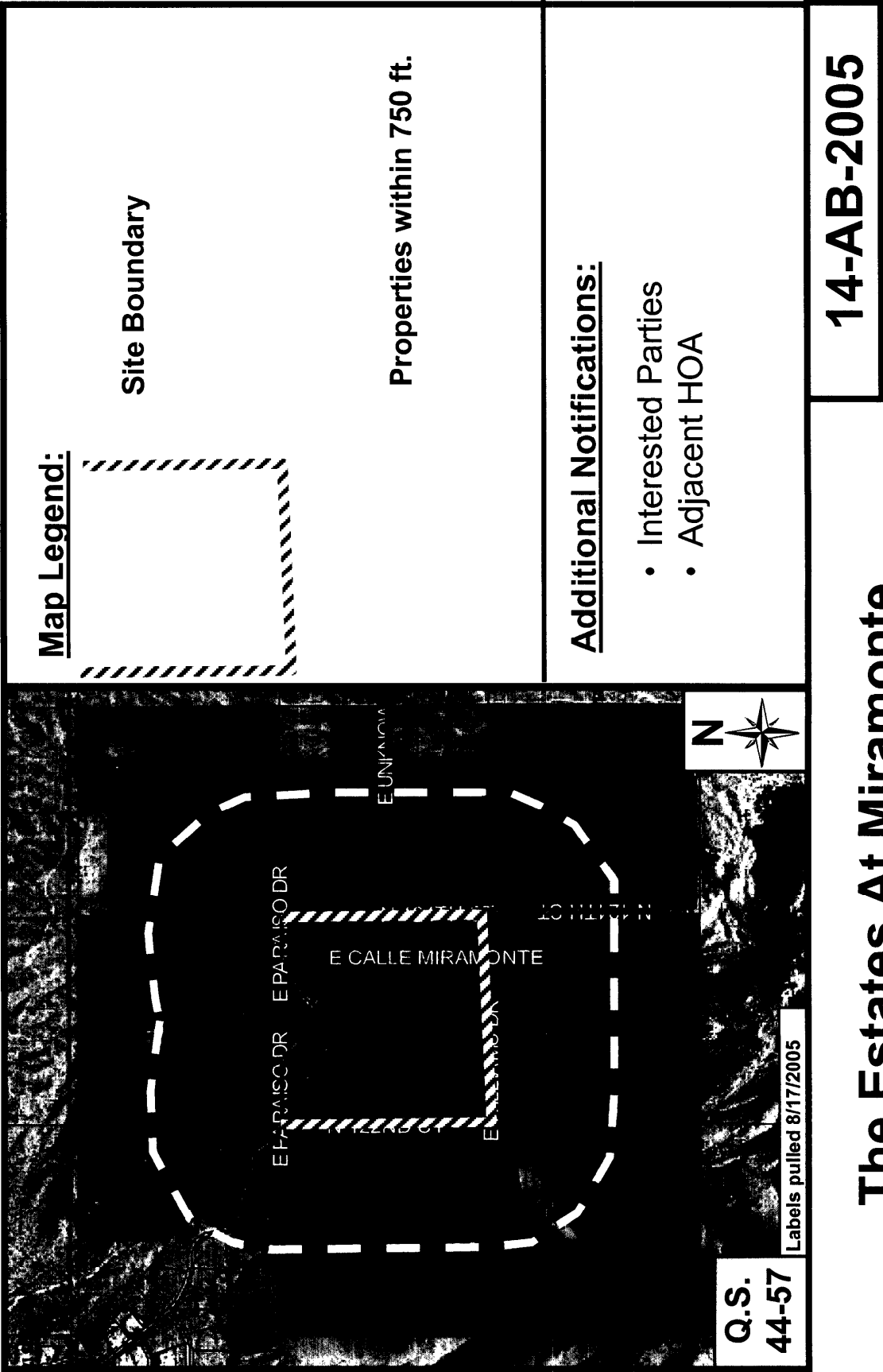
Dear Al:

This letter confirms our conversation of earlier today that, in consideration of the City of Scottsdale's approval of the requested abandonments of portions of 122nd Street, 124th Street and Williams Drive, Luxor Homes agrees to dedicate a 13' PUE (the existing 8' plus an additional 5') at the north ends of 122nd Street and 124th Street and a 1' VNE along the revised boundaries of The Estates at Miramonte at 122nd Street, 124th Street and Williams Drive. Luxor Homes also agrees to dedicate a 15' Trail Easement along the northern boundary of The Estates at Miramonte. It is our understanding that these dedications will not affect our building set-backs or the size of our building envelopes.

Sincerely,

Gary Haarer
President

City Notifications – Mailing List Selection Map



3. 28-UP-2004 (Next Bar & Nightclub)

COMMISSIONER SCHWARTZ MOVED TO CONTINUE CASE NUMBERS 9-UP-2005 (Drinx) AND 28-UP-2004 (Next Bar & Nightclub) TO THE SEPTEMBER 28, 2005 HEARING. SECONDED BY COMMISSIONER STEINKE.

Upon invitation by Chairman Gulino, no members of the public elected to speak on either of the cases.

THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SEVEN (7) TO ZERO (0).

EXPEDITED AGENDA

Chairman Gulino announced that he has a conflict on case numbers 2-AB-2005 (The Reserve & Gold Club Scottsdale) and 11-ZN-2005 (DHL Campus Phase III) and will not be participating in the discussion or vote pertaining to either of those cases.

Chairman Gulino noted the concurrence of the Commission to move the items from the regular agenda to the expedited agenda. Upon invitation by Chairman Gulino, no members of the public elected to speak regarding any of the cases on either the expedited or regular agenda.

Chairman Gulino deferred the proceedings to Vice-Chairman Steinberg and departed the meeting.

4. 2-AB-2005 (The Reserve & Gold Club Scottsdale)

10. 11-ZN-2005 (DHL Campus Phase III)

COMMISSIONER SCHWARTZ MOVED TO APPROVE CASES 2-AB-2005 (The Reserve & Gold Club Scottsdale) AND 11-ZN-2005 (DHL Campus Phase III). SECONDED BY COMMISSIONER BARNETT. THE MOTION CARRIED WITH A VOTE OF SIX (6) TO ZERO (0), WITH CHAIRMAN GULINO RECUSING.

Chairman Gulino re-joined the meeting.

COMMISSIONER BARNETT MOVED TO APPROVE:

5. 4-AB-2005 (GLO Abandonment 129th Street)

6. 8-AB-2005 (Troon Canyon Estates 2)

7. 12-AB-2005 (The Courtyards At Desert Park)

8. 14-AB-2005 (The Estates at Miramonte)

9. 29-ZN-2000#3 (Whisper Rock)

REGULAR AGENDA

11. 1-GP-2005 (Artesia)
12. 2-ZN-2005 (Artesia)

**THE MOTION WAS SECONDED BY COMMISSIONER HESS AND
CARRIED UNANIMOUSLY WITH A VOTE OF SEVEN (7) TO ZERO (0).**

ADJOURNMENT

With no further business to discuss, the regular meeting of the Scottsdale Planning Commission adjourned at 5:07 P.M.

Respectfully submitted,
A-V Tronics, Inc.

RESOLUTION NO. 6747

A RESOLUTION OF THE COUNCIL OF THE CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA, ABANDONING A PORTION OF THE PUBLIC RIGHT-OF-WAY FOR 122ND STREET BETWEEN WILLIAMS DRIVE AND PARAISO DRIVE, 124TH STREET BETWEEN WILLIAMS DRIVE AND PARAISO DRIVE AND WILLIAMS DRIVE BETWEEN 122ND STREET AND 124TH STREET

(14-AB-2005)

A. A.R.S. Sec. 28-7201, et seq. provide that a city may dispose of a roadway or portion thereof when said property or portion thereof is no longer necessary for public use.

B. After notice to the public, hearings have been held before the Planning Commission and Council of the City of Scottsdale ("City") on the proposed abandonment of the following described interests (collectively, the "Abandonment Right-of-way"):

Street right-of-way as described on Exhibit "A" attached hereto (the "124th Parcel").

Street right-of-way as described on Exhibit "B" attached hereto (the "Williams Parcel").

Street right-of-way as described on Exhibit "C" attached hereto (the "122nd Parcel").

C. The City Council finds that the Abandonment Right-of-way is no longer necessary for public use.

D. The City Council finds that consideration and other public benefit commensurate with the value of the property, giving due consideration to its degree of fragmentation and marketability, will be provided to the City by the owner of the abutting property.

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Scottsdale, Arizona, as follows:

1. Abandonment. Subject to the reservations below, the Abandonment Right-of-way is abandoned as public street right-of-way.

2. Reservations. All of the following interests are reserved to City and excluded from this abandonment:

2.1 A public utility easement upon the north thirteen (13) feet of the 122nd Parcel.

2.2 A public utility easement upon the north thirteen (13) feet of the 124th Parcel.

2.3 A non-vehicular access easement upon the south one (1) foot of the Abandonment Right-of-way, the west one (1) foot of the 122nd Parcel, and the east one (1) foot of the 124th Parcel.

2.4 Any N.V.A.E. or other non-vehicular access easement or covenant in favor of the City that may already affect the Abandonment Right-of-way prior to this resolution.

2.5 Any N.A.O.S. or other open space easement or covenant in favor of the City that may already affect the Abandonment Right-of-way prior to this resolution.

2.6 An easement for all existing utilities, if any.

2.7 Such rights and interests, if any, as are required to be reserved by A.R.S. Sec. 28-7210 and A.R.S. Sec. 28-7215.

PASSED AND ADOPTED by the Council of the City of Scottsdale this ____ day of _____, 2005.

Mary Manross, Mayor

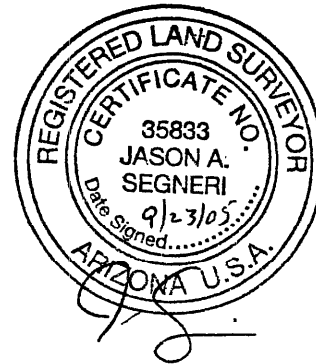
ATTEST:

By: _____
Carolyn Jagger, City Clerk

APPROVED AS TO FORM:

By: 
Deborah Robberson, Acting City Attorney

**LEGAL DESCRIPTION
ROADWAY & UTILITY
EASEMENT ABANDONMENT
124TH STREET, ADJACENT
TO THE ESTATES AT MIRAMONTE**



A PORTION OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND GLO BRASS CAP AT THE NORTH QUARTER CORNER OF SAID SECTION 14 FROM WHICH THE CENTER SAID SECTION BEARS SOUTH 00 DEGREES 21 MINUTES 35 SECONDS EAST, A DISTANCE OF 2,630.94 FEET;

THENCE SOUTH 00 DEGREES 21 MINUTES 35 SECONDS EAST, ALONG THE NORTH-SOUTH MIDSECTION LINE OF SAID SECTION 14, A DISTANCE OF 1,361.47 FEET;

THENCE NORTH 89 DEGREES 38 MINUTES 25 SECONDS WEST, LEAVING SAID MIDSECTION LINE, A DISTANCE OF 20.00 FEET TO THE **POINT OF BEGINNING** OF THE EASEMENT ABANDONMENT HEREIN DESCRIBED;

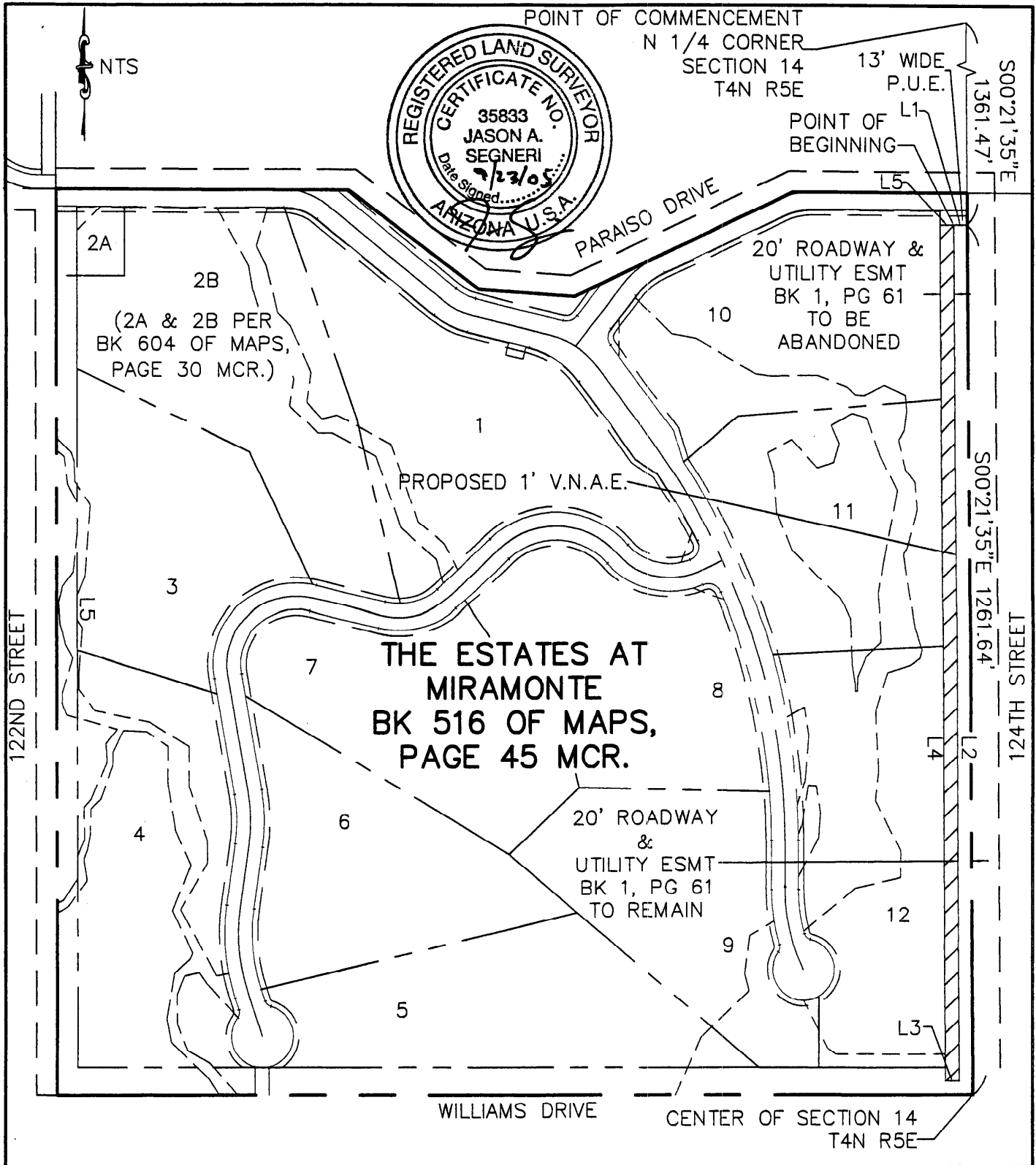
THENCE SOUTH 00 DEGREES 21 MINUTES 35 SECONDS EAST, A DISTANCE OF 1,262.45 FEET;

THENCE NORTH 89 DEGREES 48 MINUTES 49 SECONDS WEST, A DISTANCE OF 20.00 FEET TO A POINT ON THE WEST LINE OF AN EXISTING ROADWAY AND UTILITY EASEMENT, PER BOOK 1 OF MAPS, PAGE 61, RECORDS OF MARICOPA COUNTY, ARIZONA;

THENCE NORTH 00 DEGREES 21 MINUTES 35 SECONDS WEST, ALONG SAID WEST EASEMENT LINE, A DISTANCE OF 1,262.45 FEET;

THENCE SOUTH 89 DEGREES 51 MINUTES 31 SECONDS EAST, LEAVING SAID WEST EASEMENT LINE, A DISTANCE OF 20.00 FEET TO THE **POINT OF BEGINNING** OF THE EASEMENT ABANDONMENT HEREIN DESCRIBED.

SAID PARCEL CONTAINS 25,249 SQUARE FEET 0.579 ACRES



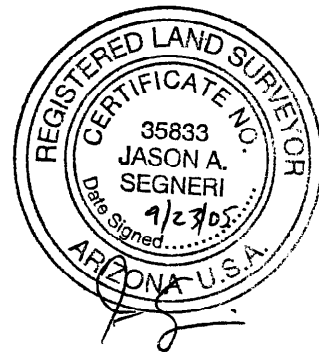
SIG
SURVEY INNOVATION
GROUP, INC

ROADWAY AND UTILITY EASEMENT
ABANDONMENT ALONG 124TH ST.
SCOTTSDALE, ARIZONA

Ph (480) 922 0780 *Land Surveying Services* Fx (480) 922 0781
 16414 N. 91ST ST., STE 102, SCOTTSDALE, AZ 85260

JOB # 2024	DWG: 122 STREET	DATE: 7-18-05
SCALE: NTS	DRAWN: JAS	CHK: ELS

LINE TABLE		
LINE	BEARING	LENGTH
L1	N89°38'25"W	20.00
L2	S00°21'35"E	1262.45
L3	N89°48'49"W	20.00
L4	N00°21'35"W	1262.43
L5	S89°51'31"E	20.00



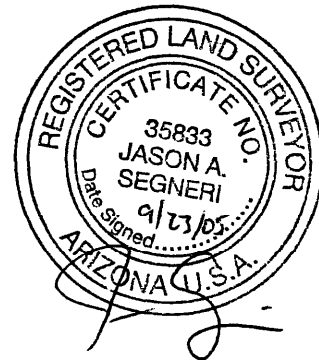
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**ROADWAY AND UTILITY EASEMENT
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SCOTTSDALE, ARIZONA**

Ph (480) 922 0780 *Land Surveying Services* Fx (480) 922 0781
16414 N. 91ST ST., STE 102, SCOTTSDALE, AZ 85260

JOB # 2024	DWG: 122 STREET	DATE: 7-18-05
SCALE: NTS	DRAWN: JAS	CHK: ELS

**LEGAL DESCRIPTION
ROADWAY & UTILITY
EASEMENT ABANDONMENT
WILLIAMS DRIVE, ADJACENT
TO THE ESTATES AT MIRAMONTE**



A PORTION OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND GLO BRASS CAP AT THE NORTH QUARTER CORNER OF SAID SECTION 14;

THENCE SOUTH 00 DEGREES 21 MINUTES 35 SECONDS EAST, A DISTANCE OF 2,630.94 FEET TO THE CENTER OF SAID SECTION 14;

THENCE NORTH 89 DEGREES 48 MINUTES 49 SECONDS WEST, ALONG THE MONUMENT LINE OF WILLIAMS DRIVE, A DISTANCE OF 40.00 FEET;

THENCE NORTH 00 DEGREES 21 MINUTES 35 SECONDS WEST, LEAVING SAID MONUMENT LINE, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING OF THE EASEMENT ABANDONMENT HEREIN DESCRIBED;

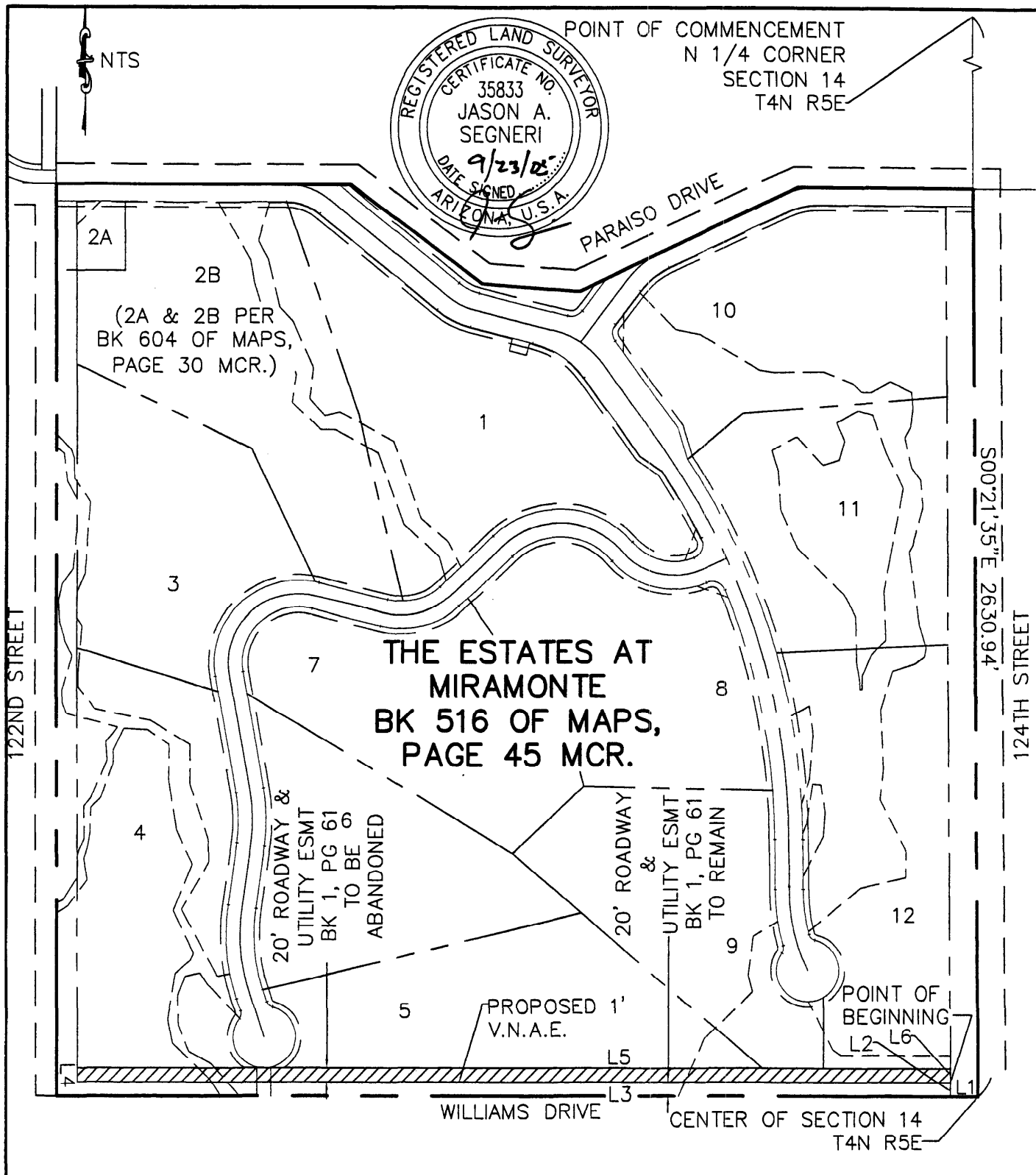
THENCE NORTH 89 DEGREES 48 MINUTES 49 SECONDS WEST, A DISTANCE OF 1,258.91 FEET;

THENCE NORTH 00 DEGREES 06 MINUTES 44 SECONDS WEST, A DISTANCE OF 20.00 FEET TO A POINT ON THE NORTH LINE OF AN EXISTING ROADWAY AND UTILITY EASEMENT, PER BOOK 1 OF MAPS, PAGE 61, RECORDS OF MARICOPA COUNTY, ARIZONA;

THENCE SOUTH 89 DEGREES 48 MINUTES 49 SECONDS EAST, ALONG SAID NORTH EASEMENT LINE, A DISTANCE OF 1,258.82 FEET;

THENCE SOUTH 00 DEGREES 21 MINUTES 35 SECONDS EAST, LEAVING SAID NORTH EASEMENT LINE, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING OF THE EASEMENT ABANDONMENT HEREIN DESCRIBED.

SAID PARCEL CONTAINS 25,178 SQUARE FEET OR 0.578 ACRES.



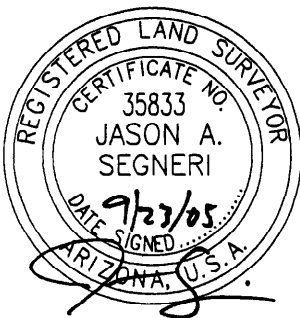
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SURVEY INNOVATION
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ROADWAY AND UTILITY EASEMENT
ABANDONMENT ALONG WILLIAMS DR
SCOTTSDALE, ARIZONA

Ph (480) 922 0780 Land Surveying Services Fx (480) 922 0781
 16414 N. 91ST ST., STE 102, SCOTTSDALE, AZ 85260

JOB # 2024	DWG: WILLIAMS DR	DATE: 7-18-05
SCALE: NTS	DRAWN: JAS	CHK: ELS

LINE TABLE		
LINE	BEARING	LENGTH
L1	N89°48'49"W	40.00
L2	N00°21'35"W	20.00
L3	N89°48'49"W	1258.91
L4	N00°06'44"W	20.00
L5	S89°48'49"E	1258.82
L6	S00°21'35"E	20.00



SIG
SURVEY INNOVATION
GROUP, INC

ROADWAY AND UTILITY EASEMENT
ABANDONMENT ALONG WILLIAMS DR
SCOTTSDALE, ARIZONA

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 16414 N. 91ST ST., STE 102, SCOTTSDALE, AZ 85260

JOB # 2024	DWG: WILLIAMS DR	DATE: 7-18-05
SCALE: NTS	DRAWN: JAS	CHK: ELS

**LEGAL DESCRIPTION
ROADWAY & UTILITY
EASEMENT ABANDONMENT
122ND STREET, ADJACENT
TO THE ESTATES AT MIRAMONTE**



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THENCE SOUTH 00 DEGREES 21 MINUTES 35 SECONDS EAST, A DISTANCE OF 2,630.94 FEET TO THE CENTER OF SAID SECTION 14;

THENCE NORTH 89 DEGREES 48 MINUTES 49 SECONDS WEST, ALONG THE MONUMENT LINE OF WILLIAMS DRIVE, A DISTANCE OF 1,299.00 FEET;

THENCE NORTH 00 DEGREES 06 MINUTES 44 SECONDS WEST, LEAVING SAID MONUMENT LINE, A DISTANCE OF 20.00 FEET TO THE **POINT OF BEGINNING** OF THE EASEMENT ABANDONMENT HEREIN DESCRIBED;

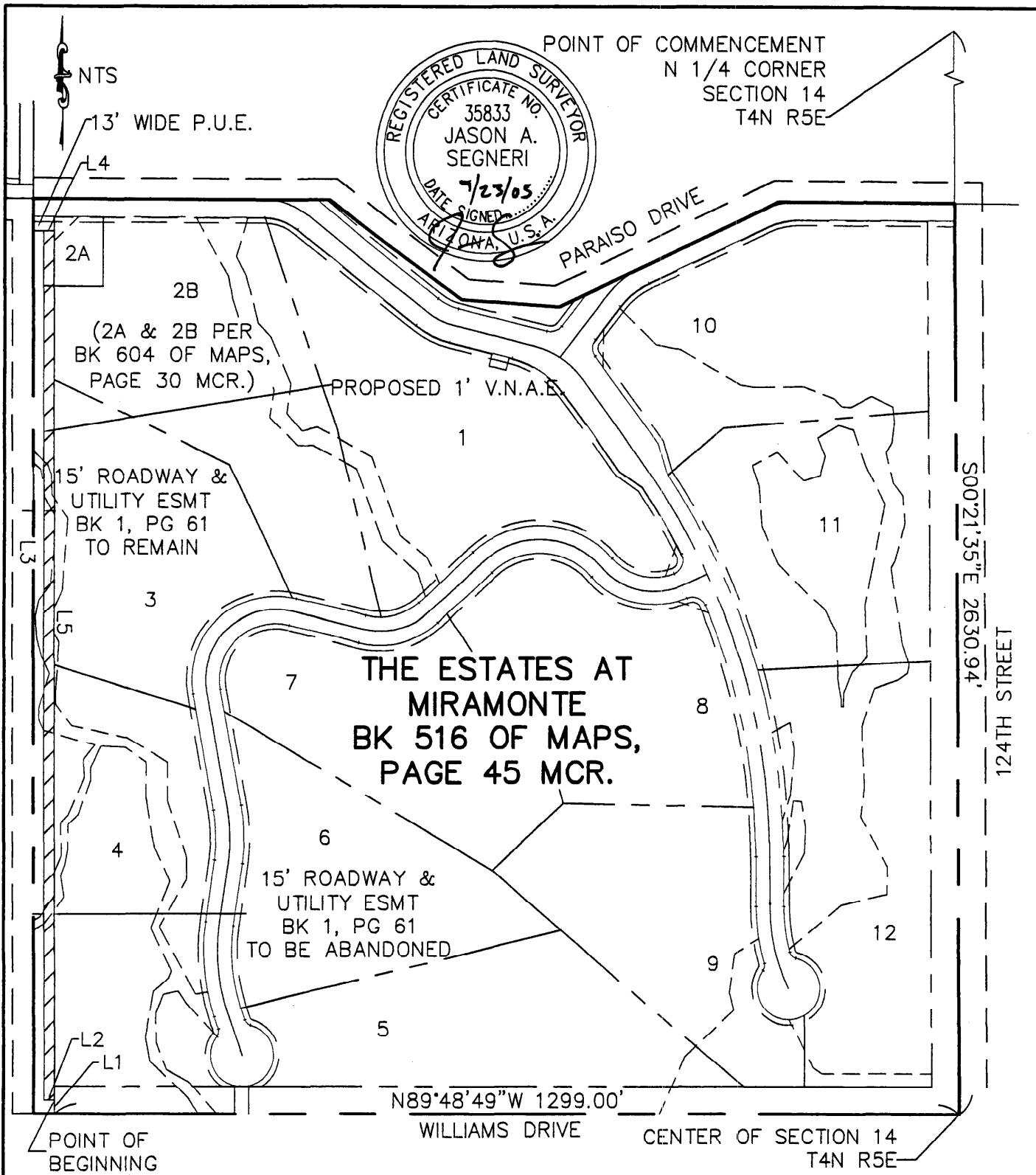
THENCE NORTH 89 DEGREES 48 MINUTES 49 SECONDS WEST, A DISTANCE OF 15.00 FEET TO A POINT ON THE EAST LINE OF EXISTING ROADWAY AND UTILITY EASEMENT, PER BOOK 1 OF MAPS, PAGE 61, RECORDS OF MARICOPA COUNTY, ARIZONA;

THENCE NORTH 00 DEGREES 06 MINUTES 44 SECONDS WEST, A DISTANCE OF 1,256.79 FEET;

THENCE SOUTH 89 DEGREES 49 MINUTES 52 SECONDS EAST, A DISTANCE OF 15.00 FEET;

THENCE SOUTH 00 DEGREES 06 MINUTES 44 SECONDS EAST, A DISTANCE OF 1,256.79 FEET TO THE **POINT OF BEGINNING** OF THE PARCEL HEREIN DESCRIBED.

SAID PARCEL CONTAINS 18,852 SQUARE FEET OR 0.433 ACRES.



SIG

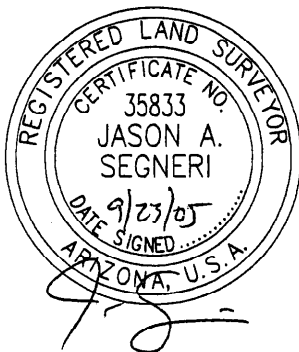
**SURVEY INNOVATION
GROUP, INC**

**ROADWAY AND UTILITY EASEMENT
ABANDONMENT ALONG 122ND ST.
SCOTTSDALE, ARIZONA**

Ph (480) 922 0780 Land Surveying Services Fx (480) 922 0781
16414 N. 91ST ST., STE 102, SCOTTSDALE, AZ 85260

JOB # 2024	DWG: 122 STREET	DATE: 7-18-05
SCALE: NTS	DRAWN: JAS	CHK: ELS

LINE TABLE		
LINE	BEARING	LENGTH
L1	S00°06'44"E	20.00
L2	N89°48'49"W	15.00
L3	N00°06'44"W	1256.79
L4	S89°49'52"E	15.00
L5	S00°06'44"E	1256.79



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